



PLANNING AND ZONING COMMISSION AGENDA

**Planning and Zoning Commission Public Hearing
Tuesday, November 15, 2016**

6:00 p.m.

**Council Chambers, Addison Town Hall
5300 Belt Line Road, Addison, Texas**

Pledge of Allegiance

1. Discuss and take action regarding approval of the minutes of the October 18, 2016 Planning and Zoning Commission meeting.
2. REPLAT/Westgrove and Airborn Lot 2R, Block A. Presentation, discussion, and take action on a replat of one lot totaling 2.011 acres located generally at the southeast corner of Westgrove Drive and Sojourn Drive, represented by Mr. John Spiars.
3. **PUBLIC HEARING** Case 1747-SUP/Meso Maya. Public hearing, discussion, and take action on a recommendation regarding an ordinance changing the zoning on property located at 5280 Belt Line Road, which property is currently zoned LR, Local Retail, by approving a new Special Use Permit for a restaurant and a new Special Use Permit for the sale of alcoholic beverages for on-premises consumption only, represented by Mr. Robert Kirk.

NOTE: The Planning & Zoning Commission reserves the right to meet in Executive Session closed to the public at any time in the course of this meeting to discuss matters listed on the agenda, as authorized by the Texas Open Meetings Act, Texas Government Code, Chapter 551, including §551.071 (private consultation with the attorney for the City). Any decision held on such matters will be taken or conducted in Open Session

following the conclusion of the Executive Session.

Adjourn Meeting

Posted:

Laura Bell, 11/11/2016, no later than 5:00p m

**THE TOWN OF ADDISON IS ACCESSIBLE TO PERSONS WITH DISABILITIES.
PLEASE CALL (972) 450-7017 AT LEAST
48 HOURS IN ADVANCE IF YOU NEED ASSISTANCE.**

Planning & Zoning Commission

Meeting Date: 11/15/2016

Agenda Caption:

Discuss and take action regarding approval of the minutes of the October 18, 2016 Planning and Zoning Commission meeting.

Attachments

10-18-16 P&Z Minutes



**OFFICIAL ACTIONS OF THE ADDISON
PLANNING AND ZONING COMMISSION**

October 18, 2016

6:00 P.M. – Council Chambers

Addison Town Hall, 5300 Belt Line Road Dallas, TX 75254

Present: Jason Ennis, Stacey Griggs, Debra Morgan, Skip Robbins, Jim Robinson, Tom Schaeffer, Randy Smith

Absent: none

Chairman Robbins called the meeting to order at 6:00pm.

1. Discuss and take action regarding approval of the minutes of the September 20, 2016 meeting.

Commissioner Griggs moved to approve the minutes of the September 20, 2016 meeting with no corrections. Commissioner Robinson seconded the motion.

Voting Aye: Ennis, Griggs, Morgan, Robbins, Robinson, Schaeffer, Smith

Voting Nay: none

Motion passed.

2. **PUBLIC HEARING** Case 1742-Z/Knight Renovation. Public hearing, discussion, and take action on a recommendation regarding an ordinance rezoning approximately 2.011 acres of property located at the southeast corner of Westgrove Drive and Sojourn Drive, which is currently zoned PD, Planned Development, in order to approve a new Planned Development allowing an office and warehouse building, represented by Mr. Mike Williams.

Charles Goff, Assistant Director of Development Services and Planning, presented the staff report and answered questions from the Commission.

Mr. Robert Reeves, with Robert Reeves and Associates, Inc., the property owner's zoning consultant, presented and answered questions from the Commission.

Chairman Robbins opened the meeting as a public hearing.

SPEAKERS AT THE PUBLIC HEARING:

For: none

On: Paula Nelvin, 17006 Westgrove Drive
Against: none

Chairman Robbins closed the public hearing.

Commissioner Ennis moved to recommend approval of an ordinance rezoning an approximately 2.011 acre property located at the southeast corner of Westgrove Drive and Sojourn Drive from PD (Planned Development) to a new PD (Planned Development) allowing an office and warehouse building, subject to the following condition:

- The warehouse use being approved is warehouse for the use of the approved office.

Commissioner Schaeffer seconded the motion.

Voting Aye: Ennis, Griggs, Morgan, Robbins, Robinson, Schaeffer, Smith
Voting Nay: none

Motion passed.

3. PUBLIC HEARING Case 1750-Z/Town of Addison. Public hearing, discussion, and take action on a recommendation regarding a resolution adopting a new Master Transportation Plan for the Town of Addison.

Charles Goff, Assistant Director of Development Services and Planning, presented the staff report and answered questions from the Commission.

Chairman Robbins opened the meeting as a public hearing.

SPEAKERS AT THE PUBLIC HEARING:

For: none
On: none
Against: none

Chairman Robbins closed the public hearing.

Commissioner Ennis moved to recommend approval of a resolution adopting the proposed Master Transportation Plan with a revision to add to the chart of proposed improvements on Page 73 a recommendation for the adoption of engineered traffic calming measures where conditions merit, particularly on certain residential collector streets or portions thereof, such as Les Lacs, Proton and Beltway.

Commissioner Robinson seconded the motion.

Commissioner Smith moved to amend the motion to approve the proposed Master Transportation Plan as presented, without revision.

Commissioner Morgan seconded the motion to amend.

Voting Aye: Griggs, Morgan, Robbins, Robinson, Smith

Voting Nay: Ennis, Schaeffer

Amendment passed.

The Commission then voted on the motion, as amended, to recommend approval of a resolution adopting the proposed Master Transportation Plan as presented, without revision.

Voting Aye: Ennis, Griggs, Morgan, Robbins, Robinson, Schaeffer, Smith

Voting Nay: none

Motion passed.

Meeting Adjourned

Planning & Zoning Commission

Meeting Date: 11/15/2016

Agenda Caption:

REPLAT/Westgrove and Airborn Lot 2R, Block A. Presentation, discussion, and take action on a replat of one lot totaling 2.011 acres located generally at the southeast corner of Westgrove Drive and Sojourn Drive, represented by Mr. John Spiars.

Attachments

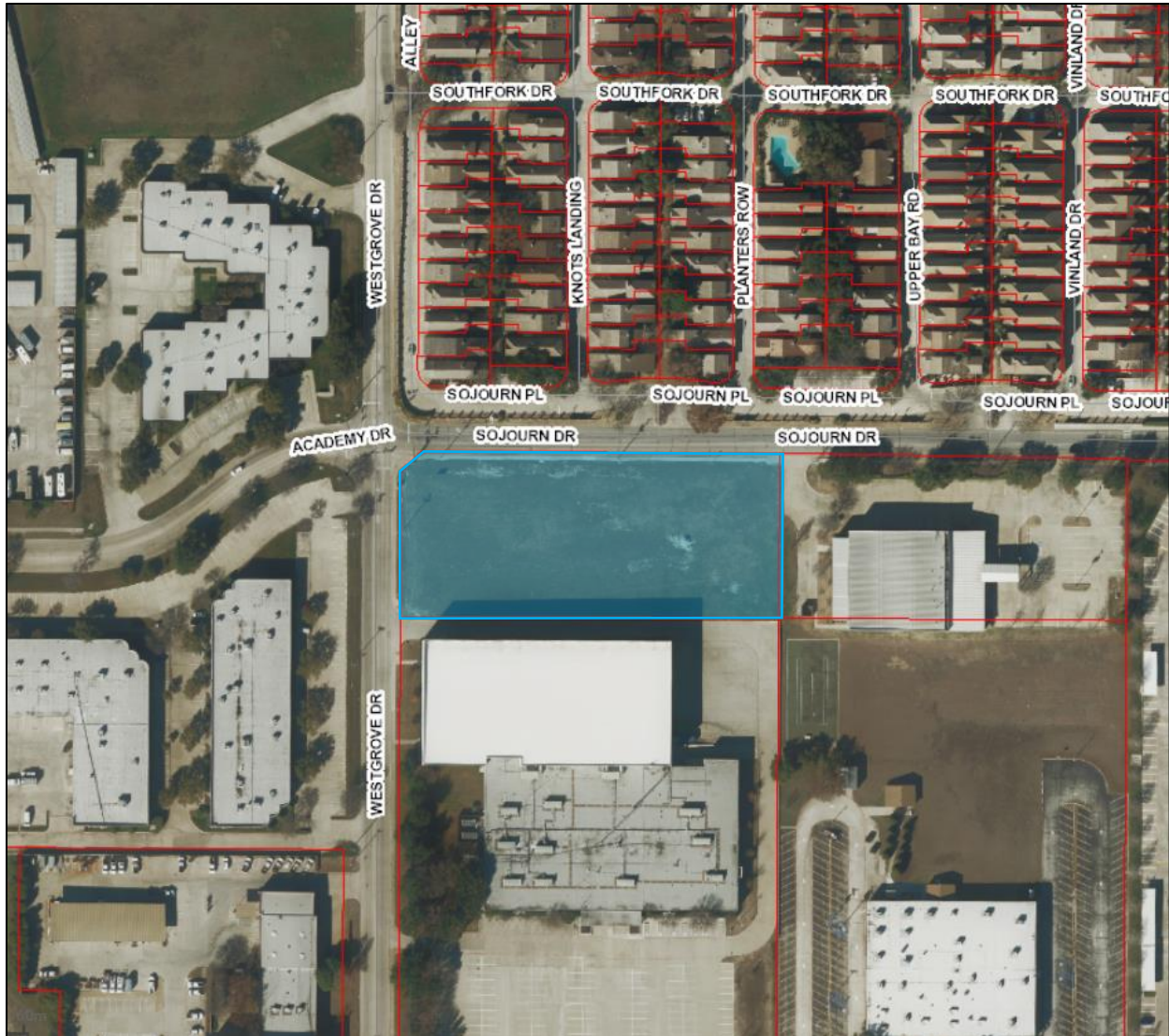
P&Z Packet

Replat Document

1742-Z

REPLAT/Westgrove and Airborn Lot 2R, Block A. Presentation, discussion, and take action on a replat of one lot totaling 2.011 acres located generally at the southeast corner of Westgrove Drive and Sojourn Drive.

LOCATION MAP





November 11, 2016

STAFF REPORT

RE: REPLAT/ Westgrove and Airborn

LOCATION: one lot totaling 2.011 acres located generally at the southeast corner of Westgrove Drive and Sojourn Drive

REQUEST: Approval of a replat

APPLICANT: Spiars Engineering, represented by Mr. John Spiars

DISCUSSION:

Background. This replat covers the vacant lot at the southeast corner of Westgrove Drive and Sojourn Drive. This replat is necessary to accommodate the proposed Knight Renovation office and warehouse building. It records the necessary easements for utilities, access and drainage.

Engineering Review. The replat has been reviewed by Town staff and found to be in compliance with all requirements.

RECOMMENDATION: **APPROVAL**

Staff recommends approval of the proposed replat subject to no conditions.

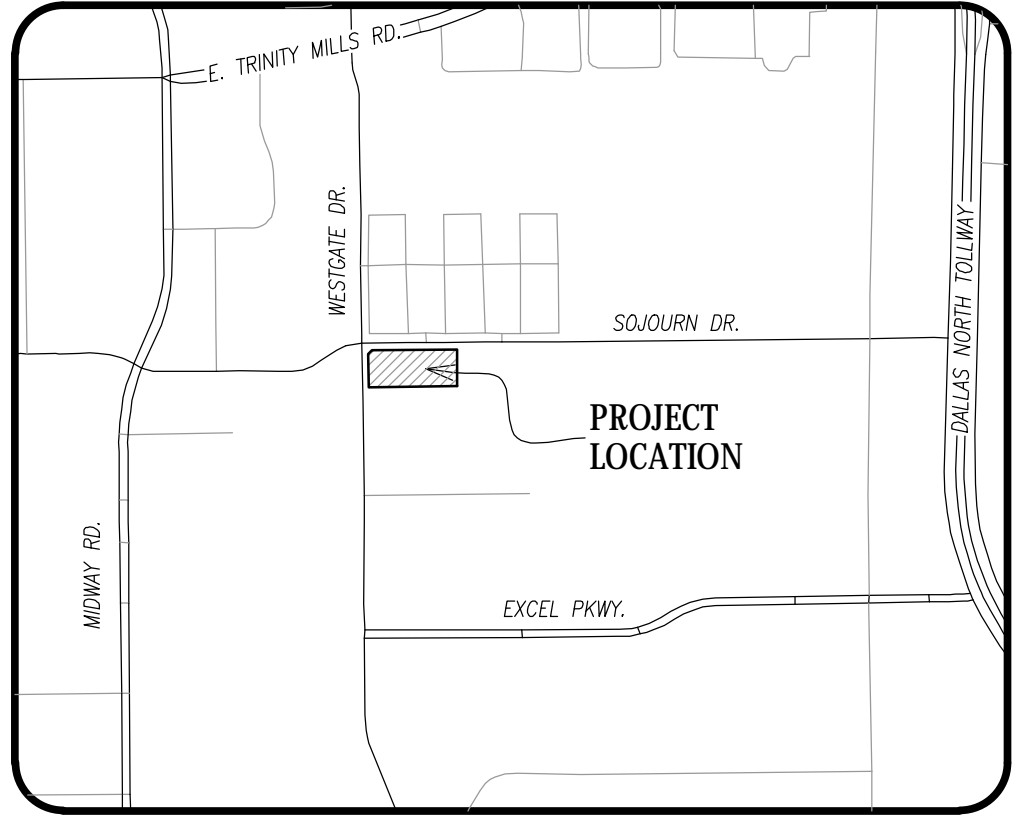
Drawing C:\2016\JDB\16-036 4200 Sojourn\16-036 Preliminary Plat.dwg Saved By: Edevis Save Time: 11/19/2016 10:25:38 AM

Lot 1, Block A
SOJOURN-YOSS JOINT
VENTURE ACADEMY ADDITION
Vol. 83218, Pg. 2254 DRDCT

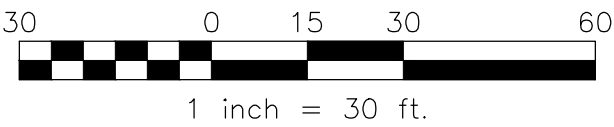
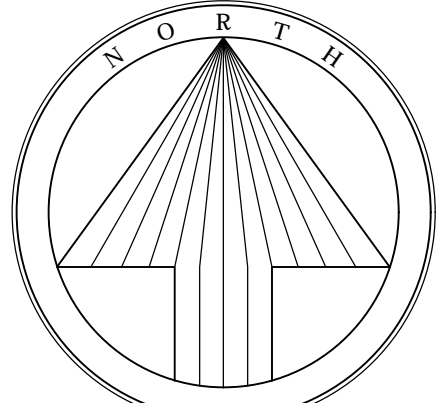
LEGEND	
(Not all items may be applicable)	
o	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPIARS-ENG" SET, UNLESS OTHERWISE NOTED
IRF	IRON ROD FOUND
CIRF	CAPPED IRON ROD FOUND
CM	CONTROL MONUMENT
BL	BUILDING LINE
DRDCT	DEED RECORDS, DALLAS COUNTY, TEXAS
MRDCT	MAP RECORDS, DALLAS COUNTY, TEXAS
OPRDCT	OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS

NOTES:

- Basis of bearing derived from the State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, (2011).
- Selling a portion of this addition by metes and bounds is a violation of Town ordinance and state law and is subject to fines and withholding of utilities and building permits.
- The purpose of this replat is for the development of Lot 2R, and to dedicate the easements shown hereon.
- No floodplain exists on this site.



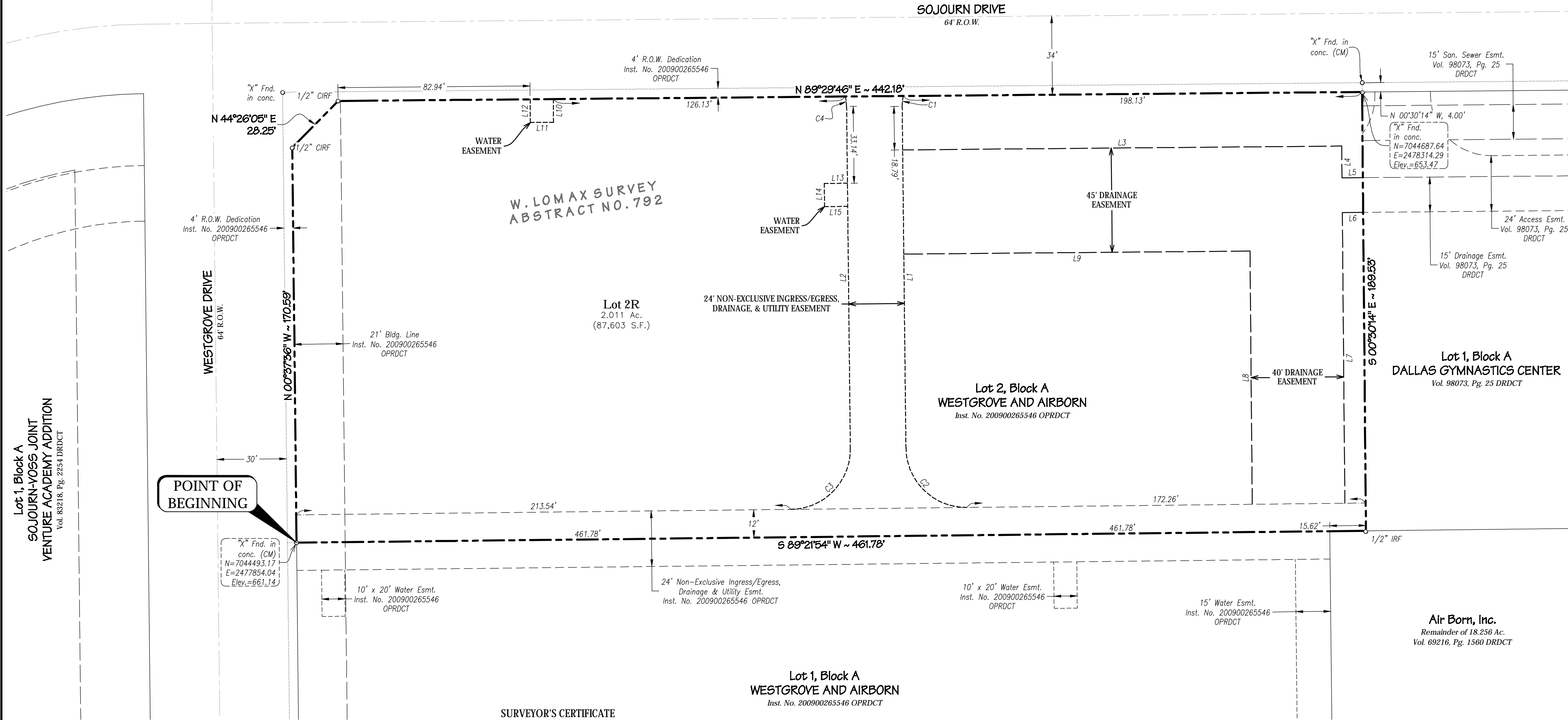
LOCATION MAP
1" = 1000'



Line Table		
Line #	Bearing	Distance
L1	S 00°37'36" E	147.50'
L2	N 00°37'36" W	147.73'
L3	N 89°29'46" E	189.59'
L4	S 00°30'14" E	13.75'
L5	N 89°22'24" E	9.00'

Line Table		
Line #	Bearing	Distance
L6	S 89°22'24" W	9.00'
L7	S 00°30'14" E	125.53'
L8	N 00°30'14" W	109.37'
L9	S 89°29'46" W	149.50'
L10	S 00°30'14" E	10.00'

Line Table		
Line #	Bearing	Distance
L11	S 89°29'46" W	10.00'
L12	N 00°30'14" W	10.00'
L13	N 89°22'24" E	10.00'
L14	S 00°37'36" E	10.00'
L15	N 89°22'24" E	10.00'

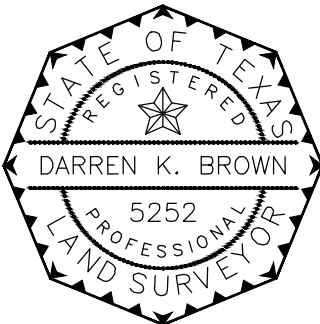


SURVEYOR'S CERTIFICATE

That I, Darren K. Brown, of Spiars Engineering, Inc., do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the Town of Addison, Texas.

Dated this the ____ day of _____, 2017.

DARREN K. BROWN, R.P.L.S. NO. 5252



STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Darren K. Brown, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2017.

Notary Public, State of Texas

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

WHEREAS Palmetto Corners II, Ltd., is the owner of a tract of land situated in the W. Lomax Survey, Abstract No. 792, City of Addison, Dallas County, Texas, the subject tract being all of Lot 2, Block A, Westgrove and Airborn Addition according to the plat recorded in Instrument No. 200900265546 of the Official Public Records, Dallas County, Texas (OPRDCT), with the subject tract being more particularly described as follows:

BEGINNING at an "X" found in concrete on the east line of Westgrove Drive, a variable width right-of-way, for the southwest corner of Lot 2 and for the northwest corner of Lot 1, Block A, Westgrove and Airborn Addition;

THENCE N 00°37'36" W, 170.59 feet along the east line of Westgrove Drive to a 1/2" iron rod with plastic cap found for the south end of a corner clip being the intersection of the east line of Westgrove Drive with the south line of Sojourn Drive, a variable width right-of-way;

THENCE N 44°26'05" E, 28.25 feet along said corner clip to a 1/2" iron rod with plastic cap found;

THENCE N 89°29'46" E, 442.18 feet along the south line of Sojourn Drive to an "X" found in concrete for the northeast corner of Lot 2, and being the northwest corner of Lot 1, Block A, Dallas Gymnastics Center, an addition recorded in Volume 98073, Page 25, Deed Records, Dallas County, Texas (DRDCT);

THENCE S 00°30'14" E, 189.53 feet along the west line of Lot 1 to a 1/2" iron rod found on the north line of a tract conveyed to Air Born, Inc., recorded in Volume 69216, Page 1560 DRDCT;

THENCE S 89°21'54" W, along the north line of said Air Born tract, passing at 15.62 feet the northwest corner thereof and the northeast corner of said Lot 1, Block A, Westgrove and Airborn Addition, and continuing along the north line thereof a total distance of 461.78 feet to the POINT OF BEGINNING with the subject tract containing 87.603 square feet or 2.011 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That SQUIRE PROPERTIES, LLC, ("Owner") does hereby adopt this plat designating the hereinabove property as WESTGROVE AND AIRBORN ADDITION, LOT 2R, BLOCK A, an addition to the Town of Addison, Texas, and subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon.

The easement shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, election, telephone, gas and cable television. Owner shall have the right to use these easements, provided, however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The town will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water runoff shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the town to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the town shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the town for maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

Witness our hands at Dallas County, Texas, this ____ day of _____, 2017.

SQUIRE PROPERTIES, LLC

By: _____
Adam McKelvey

Title: _____

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Adam McKelvey, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2017.

Notary Public, State of Texas

REPLAT

WESTGROVE AND AIRBORN

LOT 2R, BLOCK A
BEING A REPLAT OF LOT 2, BLOCK A,
WESTGROVE AND AIRBORN ADDITION
2.011 ACRES IN THE
W. LOMAX SURVEY, ABSTRACT NO. 792
TOWN OF ADDISON, DALLAS COUNTY, TEXAS
TOWN PROJECT NO. 16-12

OWNER / APPLICANT
Squire Properties, LLC
901 Waterfall Way, Ste. 307
Richardson, TX 75080
Telephone (469) 330-7838
Contact: John DeTiberis

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPE No. F-2121
Contact: John Spiars

Planning & Zoning Commission

Meeting Date: 11/15/2016

Agenda Caption:

PUBLIC HEARING Case 1747-SUP/Meso Maya. Public hearing, discussion, and take action on a recommendation regarding an ordinance changing the zoning on property located at 5280 Belt Line Road, which property is currently zoned LR, Local Retail, by approving a new Special Use Permit for a restaurant and a new Special Use Permit for the sale of alcoholic beverages for on-premises consumption only, represented by Mr. Robert Kirk.

Attachments

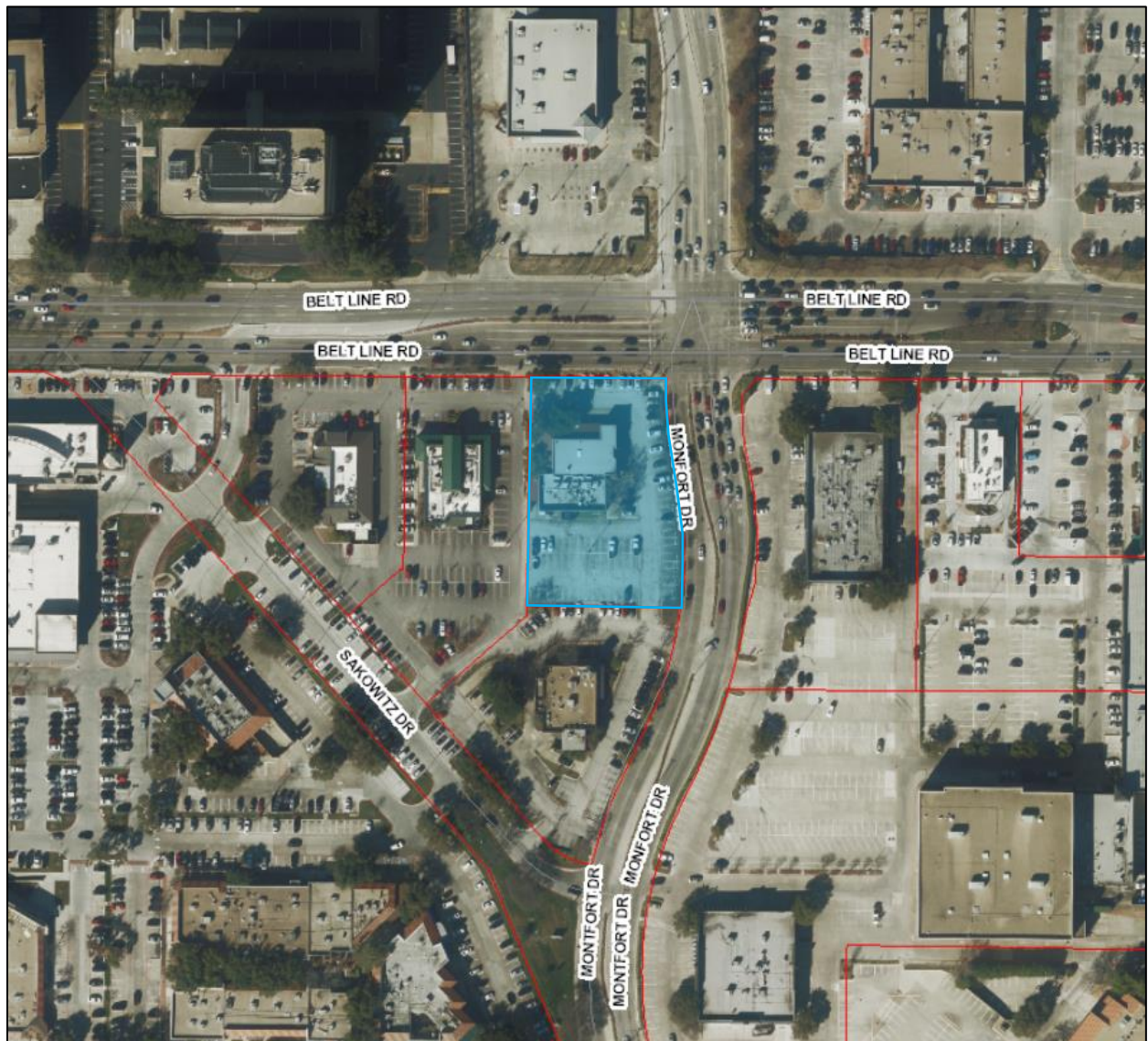
1747-SUP P&Z Packet

1747-SUP Plans

1747-SUP

PUBLIC HEARING Case 1747-SUP/Meso Maya. Public hearing, discussion, and take action on a recommendation regarding an ordinance changing the zoning on property located at 5280 Belt Line Road, which property is currently zoned LR, Local Retail, by approving a new Special Use Permit for a restaurant and a new Special Use Permit for the sale of alcoholic beverages for on-premises consumption only.

LOCATION MAP





November 11, 2016

STAFF REPORT

RE: Case 1747-SUP/Meso Maya

LOCATION: 5280 Belt Line Road

REQUEST: Approval of a new Special Use Permit for a restaurant and a new Special Use Permit for the sale of alcoholic beverages for on-premises consumption only

APPLICANT: Mr. Robert Kirk

DISCUSSION:

Background: This is a 1.104 acre tract located at the southwest corner of Belt Line Road and Montfort Drive. The site is zoned Local Retail and was originally developed in 1979 as Don Miguel's Restaurant, but soon converted to El Fenix.

El Fenix is owned by the Firebird Restaurant Group. That group also owns Snuffer's, Taqueria La Ventana and an upscale Mexican food concept called Meso Maya. Meso Maya currently has three locations in the Dallas area. The owner is requesting the ability to convert the building from the El Fenix concept to the Meso Maya concept. Because of the changes to the floor plan and building elevations, this necessitates a new Special Use Permit for a restaurant and the sale of alcoholic beverages for on-premises consumption.

Proposed Plan: The plans call for the building footprint to stay the same. The building currently has two dining areas - one central area and another wrapping three sides of the main space. The proposed plan moves the restaurant's entrance to the northeast corner of the building and relocates the bar within the central dining room. Most of the peripheral dining area would be converted into a covered patio with glass roll-up doors. A small portion of the new patio would be used for a lounge area. The total proposing seating is 359.

Facades: The applicant is proposing changes to the exterior of the building. By relocating the entrance to the northeast corner, a new focal point is being created. The façade in this area will be new red brick. As mentioned above, the current glass windows along the north and west façades will be replaced with glass roll-up doors to allow for the new patio. The existing brick will be painted a taupe color and the wood trim will be painted gray. The Spanish tile roof would remain.

All façades exceed the 80% masonry requirement for the Local Retail district.

Parking: When a restaurant use was first approved for this site, it was granted a parking ratio of 1 space per 100 square feet. This is atypical of free standing restaurants, which generally require 1 space per 70 square feet. The reasoning behind this is unclear, but perhaps it was considered an extension of the Village on the Parkway retail center and granted the mixed-use ratio of 1 per 100. That being said, it would be impossible for the property to comply with 1 per 70 requirement today without a significant reduction in the size of the building. The square footage of the building is 8,746. By continuing with the 1 per 100 parking requirement, 88 parking spaces are required. This site plan shows that this is the number being provided.

Landscaping: Since this property was developed in the late 1970s, it is far below the current landscaping requirements. Additionally, the site only provides a three-foot sidewalk located immediately back of curb. Unfortunately, absent a complete redevelopment of this site it, would be impossible to comply with the current standards. Staff has worked with the applicant to maximize the amount of landscaping provided within the site without impacting other requirements such as parking.

The site is currently just under 8% landscape coverage. The proposed plan increases that slightly to just above 8% by adding two tree islands and increasing the amount of landscaping adjacent to the building. This is still below the 20% required. The plan also does not meet the twenty-foot street frontage standard or the requirement to provide five-foot sidewalks. These cannot be addressed without losing the row of parking along Belt Line and Montfort Drive. Instead, applicant has agreed to increase the plant material around the building in order to maximize the use of the space available. Staff believes that the proposed landscaping gets the property as close as possible to current requirements under the existing site configuration.

RECOMMENDATION: **APPROVAL WITH A CONDITION**

Meso Maya is a quality, growing restaurant concept and will be a good addition for the Town. The proposed plan will give the interior and exterior of the building an improved look. While the landscaping is well below requirements, the applicant is proposing to make minor improvements, where possible. Staff recommends approval subject to the following condition:

- The applicant shall not use any terms or graphic depictions that relate to alcoholic beverages in any exterior signage.

Land Use Analysis

Attributes of Success Matrix

Meso Maya, 5280 Belt Line Road

1747-SUP

Attribute	Comment	Score
Competitive	This is a busy corner for Addison. The improvements and the concept being proposed should keep this property competitive.	
Safe	The project will be safe.	
Functional	The site is functional.	
Visually Appealing	The building facades will be updated to create a more modern look. However, due to its age, the landscaping does not comply with current standards and the property can only provide minimal improvements.	
Supported with Amenities	The restaurant is clustered with other restaurant, retail and entertainment options.	
Environmentally Responsible	This use is a good re-use of an existing space.	
Walkable	The site provides sidewalks, however they are narrow and immediately back of curb.	
Overall Assessment	Meso Maya is a quality new concept that should do well in this location. As part of this transition, the building will receive much needed upgrades.	

MESO MAYA

JONESBAKER

1922 S AKARD ST
DALLAS, TX 75215
(214) 426-5600
www.jonesbaker.com



PROJECT NO. : 1609B
DATE : 10/27/16
DRAWN BY : MQ
SCALE : AS NOTED
SQFT : 8,746

REVISIONS :

GENERAL
INFORMATION

GENERAL INFORMATION

PROJECT : MESO MAYA
5280 BELT LINE ROAD
ADDISON, TEXAS 75254

OWNER : MESO MAYA II, LLC
2414 N AKARD ST., SUITE 500
DALLAS, TEXAS 75201
972-388-5421
CONTACT : TOM MOORES / JILL BOYD

PROJECT DESIGNER :
JONES BAKER
1922 S AKARD ST, SUITE A
DALLAS, TEXAS 75215
214-426-5600
CONTACT : WILLIAM BAKER

SHEET INDEX

SH. 1	COVER SHEET
SH. 2	NOT USED
SH. 3	SITE PLAN
SH. 4	LANDSCAPE PLANS REFER TO SHEETS L1.01 & L1.02
SH. 5	FLOOR PLAN
SH. 6	EXTERIOR N & W ELEVATIONS & MATERIALS CALCULATIONS
SH. 7	EXTERIOR S & E ELEVATIONS & MATERIALS CALCULATIONS

MESO MAYA
TRACT II - PRESTON WOOD PLACE /
OAK NORTH-WEST NO. 3
5280 BELT LINE ROAD
ADDISON / DALLAS COUNTY, TEXAS 75254
PROJECT #

SH. 1

┌

└



PROXIMTY MAP
N.T.S.

PARKING ANALYSIS
8,746 SQ.FT.
1 SPACE / 100 SQ. FT.
88 SPACES REQUIRED
88 SPACES PROVIDED

PROJECT NO. :	1609B
DATE :	10/27/16
DRAWN BY :	MQ
SCALE :	AS NOTED
SQFT :	8,746

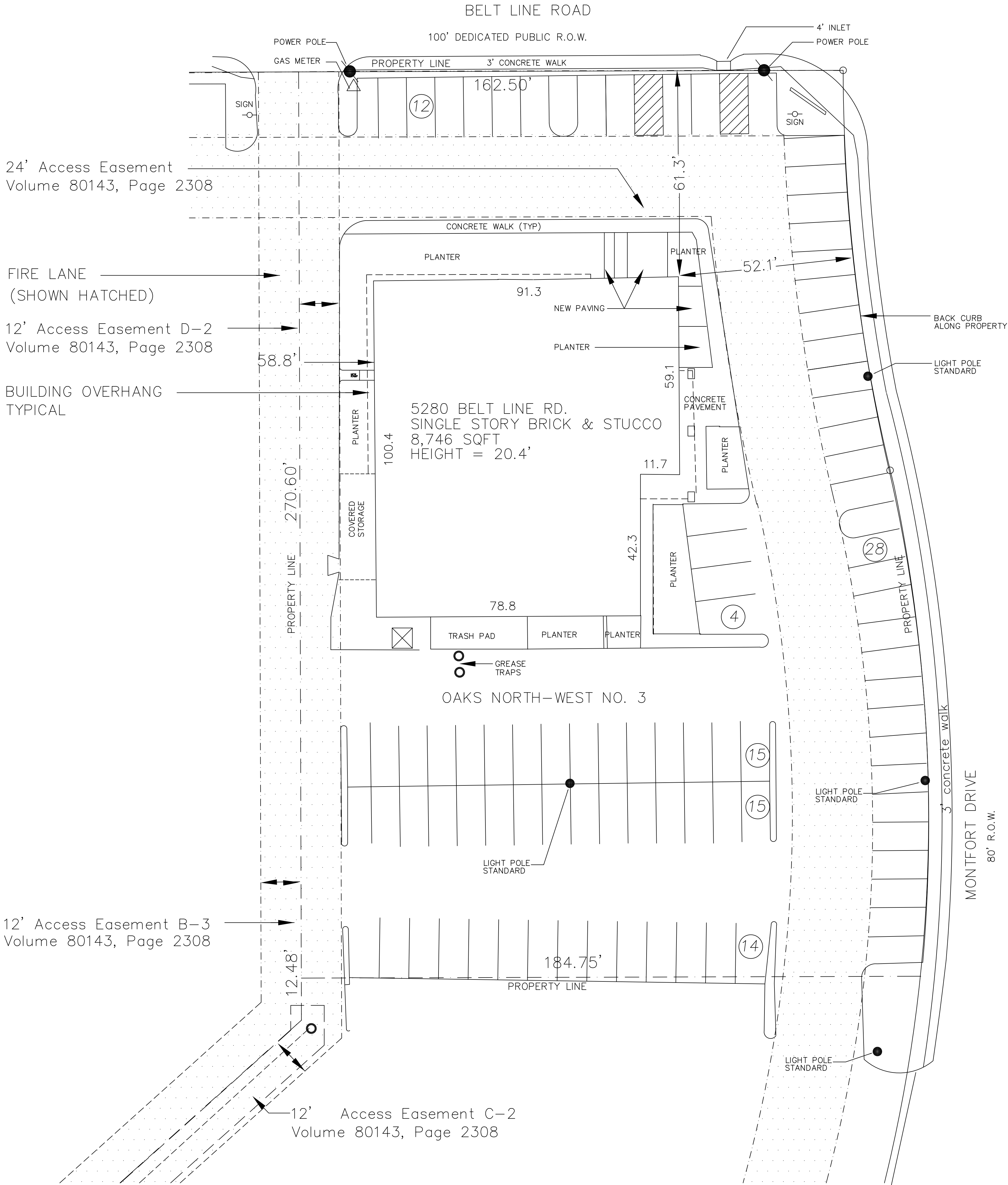
REVISIONS :

SITE PLAN

MESO MAYA
TRACT II - PRESTON WOOD PLACE /
OAK NORTH-WEST NO. 3
5280 BELT LINE ROAD
ADDISON / DALLAS COUNTY, TEXAS 75254
PROJECT #

SITE PLAN

SCALE : 1/16" = 1'-0"

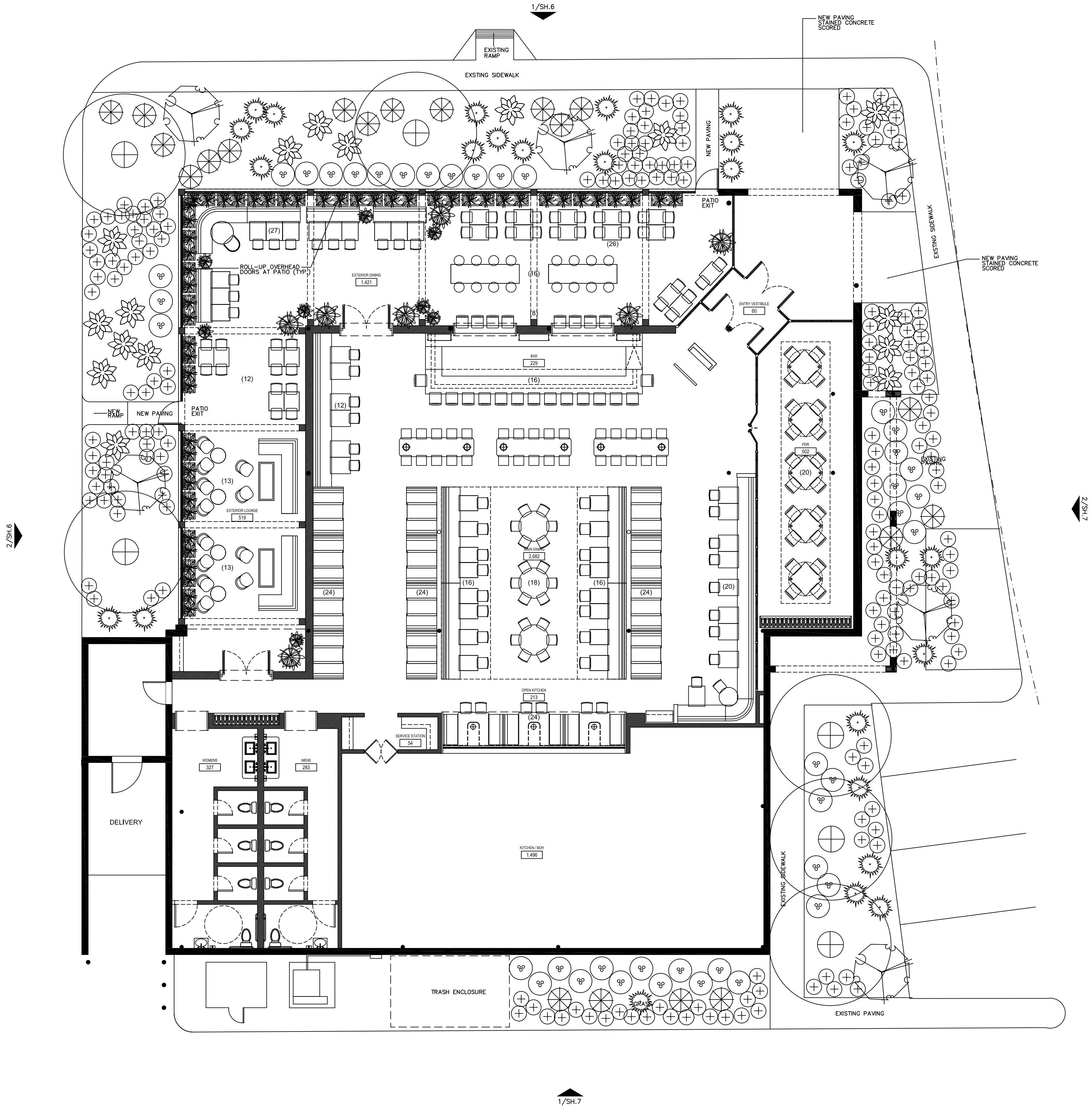


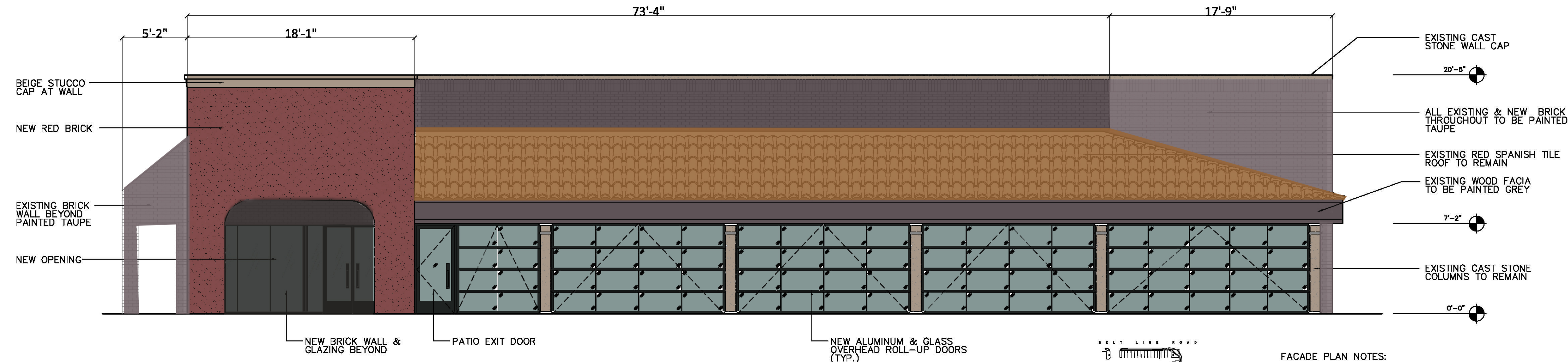
PROJECT NO. : 1609B
DATE : 10/27/16
DRAWN BY : MQ
SCALE : AS NOTED
SQFT : 8,746

REVISIONS :

FLOOR PLAN
PLAN

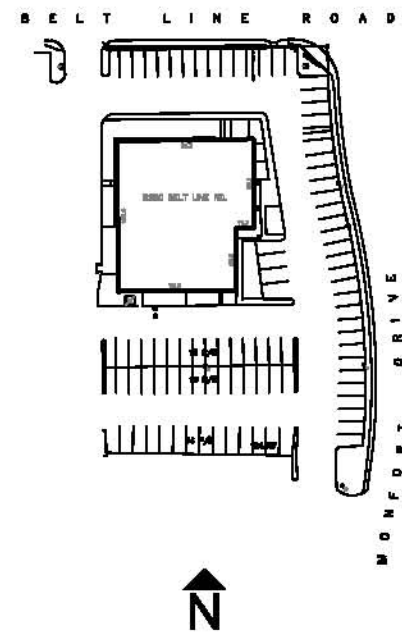
MESO MAYA
TRACT II - PRESTON WOOD PLACE /
OAK NORTH-WEST NO. 3
5280 BELT LINE ROAD
ADDISON / DALLAS COUNTY, TEXAS 75254
PROJECT #





BUILDING MATERIALS — NORTH ELEVATION		
	MATERIAL SQ. FT.	MATERIAL PERCENTAGE
MASONRY	398 SQ. FT.	23 %
RED BRICK	238 SQ. FT.	13 %
PRE-CAST STONE	54 SQ. FT.	3 %
WOOD	123 SQ. FT.	7 %
GLAZING	633 SQ. FT.	35 %
SPANISH TILE	346 SQ. FT.	19 %
TOTAL NORTH ELEVATION AREA SQ. FT.		1,792 SQ. FT.
TOTAL NORTH ELEVATION GLAZING AREA		633 SQ. FT.
TOTAL BUILDING FACADE		1,159 SQ. FT.
MASONRY / PRECAST STONE / SPANISH TILE / RED BRICK 94% OF FACADE		1,036 SQ. FT.
STUCCO CAP / WOOD 6% OF FACADE		103 SQ. FT.

MASONRY REQUIREMENT CALCULATION	
	TOTAL SQ. FT.
TOTAL BUILDING FACADE	7,473 SQ. FT.
TOTAL BUILDING GLAZING	1,111 SQ. FT.
TOTAL BUILDING FACADE SUBJECT TO MASONRY REQUIREMENT	6,362 SQ. FT.
100% OF FACADE SUBJECT TO MASONRY REQUIREMENT	
MASONRY / PRECAST STONE/ EXISTING SPANISH TILE / RED BRICK	6,088 SQ. FT.
95% OF FACADE SUBJECT TO MASONRY REQUIREMENT	
STUCCO CAP/WOOD	274 SQ. FT.
5% OF FACADE SUBJECT TO MASONRY REQUIREMENT	



FACADE PLAN NOTES:

THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES

ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE

WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING

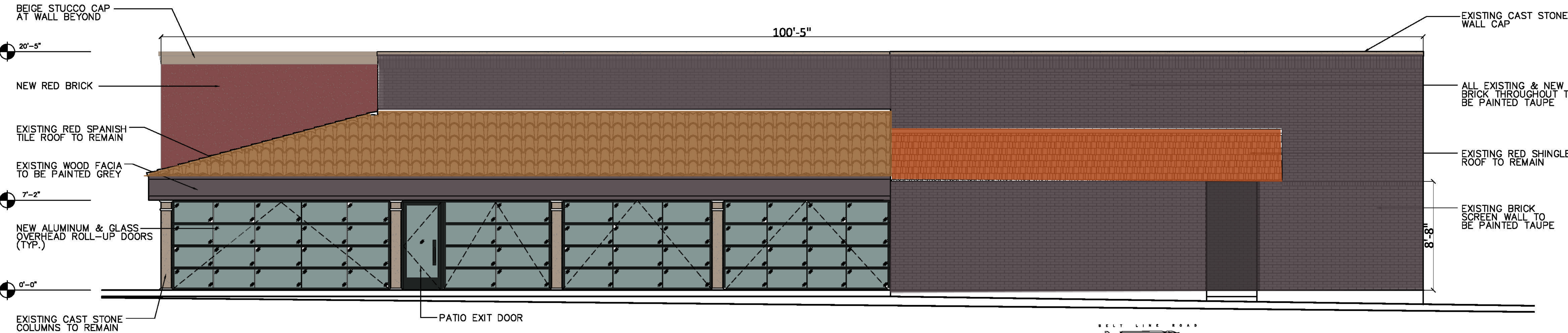
ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES

ROAD ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL

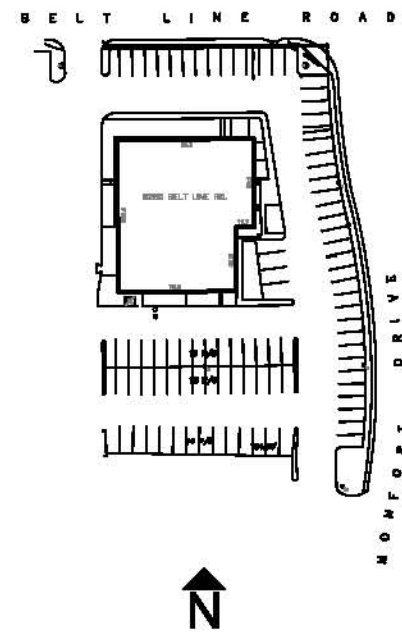
NORTH ELEVATION

SCALE : 1/4" = 1'-0"

1



BUILDING MATERIALS — WEST ELEVATION		
	MATERIAL SQ. FT.	MATERIAL PERCENTAGE
MASONRY	862 SQ. FT.	45 %
RED BRICK	122 SQ. FT.	6 %
PRE-CAST STONE	52 SQ. FT.	3 %
WOOD	98 SQ. FT.	5 %
GLAZING	393 SQ. FT.	21 %
SPANISH TILE	266 SQ. FT.	14 %
RED SHINGLES	115 SQ. FT.	6 %
TOTAL WEST ELEVATION AREA SQ. FT.		1,908 SQ. FT.
TOTAL WEST ELEVATION GLAZING AREA		393 SQ. FT.
TOTAL BUILDING FACADE		1,515 SQ. FT.
MASONRY / PRECAST STONE / SPANISH TILE / RED BRICK 94% OF FACADE		1,417 SQ. FT.
STUCCO CAP / WOOD 6% OF FACADE		98 SQ. FT.



FACADE PLAN NOTES:

THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES

ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE

WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING

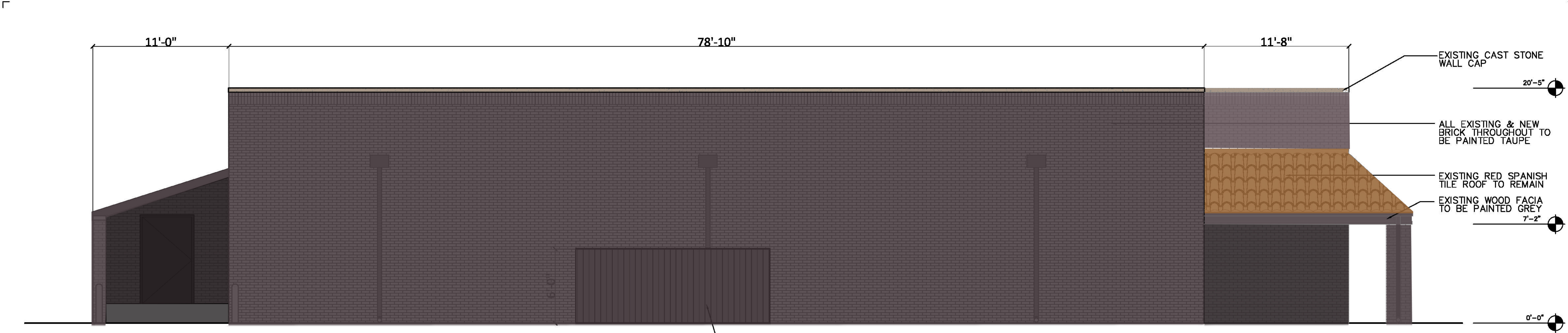
ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES

ROAD ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL

WEST ELEVATION

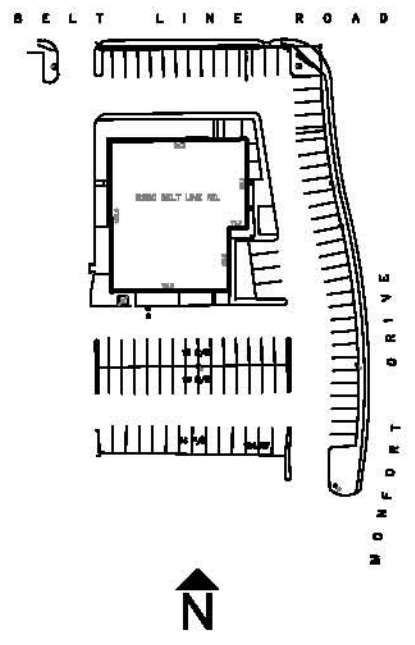
SCALE : 1/4" = 1'-0"

2



BUILDING MATERIALS — SOUTH ELEVATION		
	MATERIAL SQ. FT.	MATERIAL PERCENTAGE
MASONRY	1,699 SQ. FT.	92 %
RED BRICK	—	—
PRE CAST STONE	30 SQ. FT.	2 %
WOOD	17 SQ. FT.	1 %
GLAZING	—	—
SPANISH TILE	72 SQ. FT.	4 %
TOTAL SOUTH ELEVATION AREA SQ. FT.		1,846 SQ. FT.
TOTAL SOUTH ELEVATION GLAZING AREA		0 SQ. FT.
TOTAL BUILDING FACADE		1,846 SQ. FT.
MASONRY / PRECAST STONE / SPANISH TILE / RED BRICK 99% OF FACADE		1,829 SQ. FT.
WOOD 1% OF FACADE		17 SQ. FT.

MASONRY REQUIREMENT CALCULATION	
TOTAL BUILDING FACADE	7,473 SQ. FT.
TOTAL BUILDING GLAZING	1,111 SQ. FT.
TOTAL BUILDING FACADE SUBJECT TO MASONRY REQUIREMENT	6,362 SQ. FT.
100% OF FACADE SUBJECT TO MASONRY REQUIREMENT	
MASONRY / PRECAST STONE/ EXISTING SPANISH TILE / RED BRICK	6,088 SQ. FT.
95% OF FACADE SUBJECT TO MASONRY REQUIREMENT	
STUCCO CAP / WOOD	274 SQ. FT.
5% OF FACADE SUBJECT TO MASONRY REQUIREMENT	



FACADE PLAN NOTES:

THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES

ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE

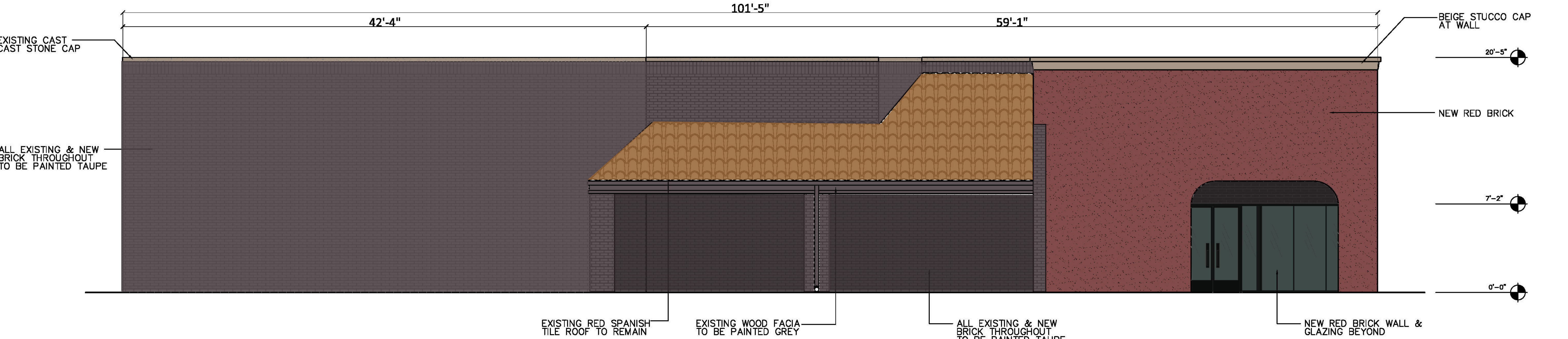
WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING

ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES

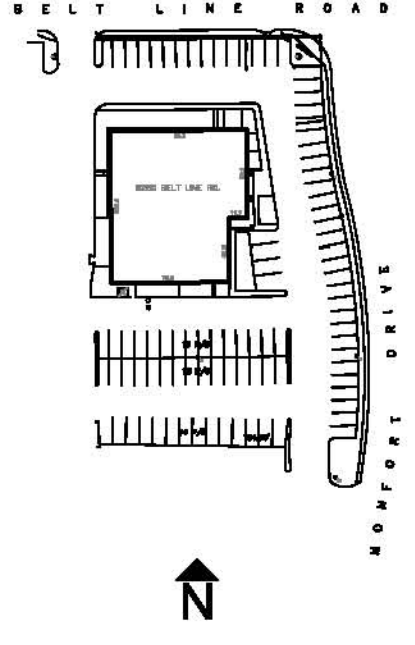
ROAD ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL

SOUTH ELEVATION

SCALE : 1/4" = 1'-0"



BUILDING MATERIALS — EAST ELEVATION		
	MATERIAL SQ. FT.	MATERIAL PERCENTAGE
MASONRY	1,174 SQ. FT.	62 %
RED BRICK	410 SQ. FT.	21 %
PRE CAST STONE	25 SQ. FT.	1 %
WOOD	36 SQ. FT.	2 %
GLAZING	85 SQ. FT.	4 %
SPANISH TILE	197 SQ. FT.	10 %
TOTAL EAST ELEVATION AREA SQ. FT.		1,927 SQ. FT.
TOTAL EAST ELEVATION GLAZING AREA		85 SQ. FT.
TOTAL BUILDING FACADE		1,842 SQ. FT.
MASONRY / PRECAST STONE / SPANISH TILE / RED BRICK 98% OF FACADE		1,806 SQ. FT.
STUCCO CAP / WOOD 2% OF FACADE		36 SQ. FT.



FACADE PLAN NOTES:

THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES

ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE ZONING ORDINANCE

WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING

ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES

ROAD ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL

EAST ELEVATION

SCALE : 1/4" = 1'-0"

JONESBAKER
ARCHITECTURE

1922 SAKARD ST
DALLAS, TX 75215
(214)426-5600
www.jonesbaker.com

PROJECT NO. : 1609B
DATE : 10/27/16
DRAWN BY : MQ
SCALE : AS NOTED
SQFT : 8,746

REVISIONS :

EXTERIOR ELEVATIONS

MESO MAYA
TRACT II - PRESTON WOOD PLACE /
OAK NORTH-WEST NO. 3
5280 BELT LINE ROAD
ADDISON / DALLAS COUNTY, TEXAS 75254
PROJECT #

SH. 7

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR.

- A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.

1.2 REFERENCE DOCUMENTS

- A. REFER TO LANDSCAPE PLANS, NOTES, AND DETAILS FOR ADDITIONAL REQUIREMENTS

1.3 SCOPE OF WORK / DESCRIPTION OF WORK

- A. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.

- B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.

- C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK

- D. FURNISH ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY TO PROVIDE ALL WORK, COMPLETE IN PLACE AS SHOWN AND SPECIFIED. WORK SHOULD INCLUDE:

- E. PLANTING OF TREES, SHRUBS AND GRASSES

- A. SEEDING
B. BED PREPARATION AND FERTILIZATION
C. WATER AND MAINTENANCE UNTIL FINAL ACCEPTANCE
D. WORK GUARANTEE

1.4 REFERENCES

- A. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) Z60.1 - NURSERY STOCK
B. TEXAS STATE DEPARTMENT OF AGRICULTURE
C. TEXAS ASSOCIATION OF NURSEYMEN, GRADES AND STANDARDS

1.5 SUBMITTALS

- A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNER'S REPRESENTATIVE BEFORE USE.
B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED FOR ANY PLANT MATERIAL NOT AVAILABLE. SUBMIT REQUEST FOR SUBSTITUTION.

1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING

- A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOD SHOULD BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK.
B. ALL PACKAGED MATERIALS SHALL BE SEALED IN CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. ALL MATERIALS SHALL BE PROTECTED FROM DETERIORATION IN TRANSIT AND WHILE STORED ON SITE.
C. DELIVER PLANT MATERIALS IMMEDIATELY PRIOR TO INSTALLATION. PLANT MATERIALS SHOULD BE INSTALLED ON THE SAME DAY AS DELIVERED. IF PLANTING CANNOT BE INSTALLED ON THE SAME DAY, PROVIDE ADDITIONAL PROTECTION TO MAINTAIN PLANTS IN A

HEALTHY, VIGOROUS CONDITION.

- D. STORE PLANT MATERIALS IN SHADE, PROTECT FROM FREEZING AND DRYING.
E. KEEP PLANT MATERIALS MOIST AND PROTECT FROM DAMAGE TO ROOT BALLS, TRUNKS AND BRANCHES.
F. PROTECT ROOT BALLS BY HEELING WITH SAWDUST OR OTHER MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.
G. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY SCHEDULE 72 HOURS IN ADVANCE.
H. FOR BALLED AND BURLAPPED PLANTS - DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE, AND FUTURE DEVELOPMENT.
I. CONTAINER GROWN PLANTS - DELIVER PLANTS IN CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS.
J. STORAGE OF ALL MATERIALS AND EQUIPMENT WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. OWNER WILL NOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.

1.7 SEQUENCING

- A. INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWN/SOLID SOD.
B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH AMENDED ORGANIC MATTER.

1.8 WARRANTIES PERIOD, PLANT GUARANTEE, REPLACEMENTS

- A. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.
B. FURNISH WRITTEN WARRANTY THAT PLANT MATERIALS WILL BE IN A HEALTHY, VIGOROUS GROWING CONDITION FOR ONE YEAR (TWELVE MONTHS) AFTER FINAL ACCEPTANCE. DAMAGE DUE TO ACTS OF GOD, VANDALISM OR NEGLIGENCE BY OWNER IS EXCLUDED.
C. REPLACE DEAD, UNHEALTHY, AND UNSIGHTLY PLANT MATERIAL WITHIN WARRANTY PERIOD UPON NOTIFICATION BY OWNER OR OWNERS REPRESENTATIVE. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED.
D. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS.
E. NOTIFY OWNER OR OWNERS REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
A. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS
B. REMOVE GUYING AND STAKING MATERIALS.

1.9 MAINTENANCE

- A. MAINTAIN PLANT LIFE AND PLANTING BEDS IMMEDIATELY AFTER PLACEMENT AND FOR MINIMUM 30 DAYS AFTER FINAL ACCEPTANCE.
B. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOWED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER.
C. REPLACE DEAD OR DYING PLANTS WITH PLANTS OF SAME SIZE AND SPECIES AS SPECIFIED.
D. REMOVE TRASH, DEBRIS, AND LITTER. WATER, PRUNE, RESTAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AND FUNGICIDES AS REQUIRED.
E. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.
F. COORDINATE WITH OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM.
G. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
H. RESET SETTLED PLANTS

REAPPLY MULCH TO BARE AND THIN AREAS.

- J. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
K. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
A. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY. ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
B. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
C. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1-1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

1.10 QUALITY ASSURANCE

- A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN.
C. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PLANT.
D. OWNERS REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNERS REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS HE/SHE FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

PART 2 - PRODUCTS

2.1 PLANT MATERIALS

- A. ALL PLANTS SHALL BE CERTIFIED IN ACCORDANCE THE AMERICAN STANDARD FOR NURSERY STOCK.
B. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
C. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.
D. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
E. PLANT SCHEDULE ON DRAWING IS FOR CONTRACTORS INFORMATION ONLY AND NO GUARANTEE IS EXPRESSED OR IMPLIED THAT QUANTITIES THEREIN ARE CORRECT. THE CONTRACTOR SHALL ENSURE THAT ALL PLANT MATERIALS SHOWN ON THE DRAWINGS ARE INCLUDED IN HIS OR HER BID.
F. SHALL BE FREE OF DISEASE, INSECT INFESTATION, DEFECTS INCLUDING WEAK OR BROKEN LIMBS, CROTCHES, AND DAMAGED TRUNKS, ROOTS OR LEAVES, SUN SCALD, FRESH BARK ABRASIONS, EXCESSIVE ABRASIONS, OBJECTIONABLE DISFIGUREMENT, INSECT EGGS AND LARVAE.
G. ALL PLANTS SHALL EXHIBIT NORMAL GROWTH HABITS, VIGOROUS, HEALTHY, FULL, WELL BRANCHED, WELL ROOTED, PROPORTIONATE AND SYMMETRICAL.
H. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
I. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE SHALL BE IMMEDIATELY REMOVED

FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTORS OWN EXPENSE ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVE SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.

- J. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
K. TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
L. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, OR INSECT DAMAGE WILL BE REJECTED.
M. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
N. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
O. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
P. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

2.2 ACCESSORIES/MISCELLANEOUS MATERIALS

- A. MULCH - DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED BY LIVING EARTH TECHNOLOGIES OR APPROVED SUBSTITUTE. MULCH SHOULD BE FREE OF STICKS, STONES, CLAY, GROWTH AND GERMINATION INHIBITING INGREDIENTS.
B. FERTILIZER - COMMERCIAL FERTILIZER CONTAINING 10-20-10 OR SIMILAR ANALYSIS.
C. SOIL PREPARATION - SHALL BE FERTILE, LOAMY SOIL. ORGANIC MATTER SHALL ENCOMPASS BETWEEN 3% AND 10% OF THE TOTAL DRY WEIGHT. SOIL SHALL BE FREE FROM SUBSOIL, REFUSE, ROOTS, HEAVY OR STIFF CLAY, STONES LARGER THAN 1". NOXIOUS WEEDS, STICKS, BRUSH, LITTER AND OTHER SUBSTANCES. IT SHOULD BE SUITABLE FOR THE GERMINATION OF SEEDS AND THE SUPPORT OF VEGETATIVE GROWTH. THE PH VALUE SHOULD BE BETWEEN 4 AND 7.
APPROXIMATE PARTICLE DISTRIBUTION FOR TOPSOIL
CLAY BETWEEN 15% AND 25%
SILT BETWEEN 15% AND 25%
SAND LESS THAN 50%
GRAVEL LESS THAN 10%

- D. EXISTING TOPSOIL - MAY BE USED IF IT MEETS THE REQUIREMENTS FOR THE IMPORTED TOPSOIL OR IF APPROVED BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. TOPSOIL SHALL NOT BE STRIPPED, TRANSPORTED OR GRADED IF MOISTURE CONTENT EXCEEDS FIELD CAPACITY. TOPSOIL STOCKPILES SHALL BE PROTECTED FROM EROSION OR CONTAMINATION.
E. ALL NEW TURF AREAS LOCATED ON THE FRONT, SIDES, REAR, AND INSIDE THE FIRE LANE SHALL BE SODDED AND SHALL BE AMENDED WITH QUALITY TOPSOIL AT A MINIMUM DEPTH OF FOUR INCHES.
F. STEEL EDGING - SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGING.
G. TREE STAKING - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE. REFER TO DETAILS.
H. FILTER FABRIC - MIRAFI 1405 BY MIRAFI INC. OR APPROVED SUBSTITUTE.
I. SAND - UNIFORMLY GRADED, WASHED, CLEAN, BANK RUN SAND.
J. DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX

- OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER.
K. RIVER ROCK - LOCALLY AVAILABLE RIVER ROCK BETWEEN 2"-4" IN DIAMETER.
L. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

PART 3 - EXECUTION

3.1 PREPARATION

- A. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1 OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
B. SOIL TESTING:
A. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL.
B. CONTRACTOR SHALL ALSO SUBMIT THE PROJECTS PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
C. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
D. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
E. IF WEEDS ARE GROWING IN PLANTING AREAS, APPLY HERBICIDE RECOMMENDED BY MANUFACTURER AND APPLIED BY AN APPROVED LICENSED APPLICATOR. ALLOW WEEDS TO DIE, AND THEN GRUB OUT ROOTS TO A MINIMUM OF 1/2 INCH DEPTH.
F. PREPARE NEW PLANTING BEDS BY TILLING EXISTING SOIL TO A DEPTH OF SIX INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. ADD SIX INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX INCHES OF THE TOPSOIL.
G. POSITION TREES AND SHRUBS AS DESIGNED ON PLAN. OBTAIN OWNERS REPRESENTATIVE'S APPROVAL PRIOR TO PROCEEDING.
H. ALL PLANTING AREAS SHALL RECEIVE A MINIMUM OF 2 INCH LAYER OF MULCH (SETTLED THICKNESS).

3.2 EXCAVATING

- A. EXCAVATE PITS FOR PLANTING. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT THE HANDLING OF THE ROOT BALL WITHOUT DAMAGE TO THE ROOTS. TREES SHALL BE PLANTED AT A DEPTH THAT WHEN SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE AS IT DID TO THE SOIL SURFACE IN ORIGINAL PLACE OF GROWTH.
B. TREE PITS PERCOLATION TEST: FILL PIT WITH WATER AND ALLOW TO STAND FOR 24 HOURS. IF PIT DOES NOT DRAIN, THE TREE NEEDS TO BE MOVED TO ANOTHER LOCATION OR HAVE DRAINAGE ADDED.
C. SHRUB AND TREE PITS SHALL BE NO LESS THAN 24" WIDER THAN THE ROOT BALL AND 6" DEEPER THAN ITS VERTICAL DIMENSION. HOLES SHOULD BE ROUGH, NOT SMOOTH OR GLAZED.

3.3 PLANTING

- A. REMOVE NURSERY TAGS AND STAKES FROM ALL PLANTS
B. REMOVE CONTAINERS WITHOUT DAMAGE TO ROOTS.
C. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING.
D. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT.
E. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT

PLANTS FOR BEST APPEARANCE.

- F. SET PLANTS WITH TOP OF ROOT BALLS FLUSH WITH ADJACENT GRADE AFTER COMPACTION. ADJUST PLANT HEIGHT IF SETTLEMENT OCCURS AFTER BACKFILLING.
G. BACKFILL HOLES IMMEDIATELY AFTER PLANT IS PLACED USING BACKFILL MIX. BACKFILL TO ONE HALF DEPTH, FILL HOLE WITH WATER AND LIGHTLY TAMP SOIL TO REMOVE VOIDS AND AIR POCKETS.
H. TRIM PLANTS TO REMOVE DEAD AND INJURED BRANCHES ONLY. BRACE PLANTS OVER 65 GALLONS IN SIZE.
I. MULCH TO THE TOP OF THE ROOT BALL. DO NOT PLANT GRASS ALL THE WAY TO TRUNK OF THE TREE. MULCH WITH AT LEAST 2" OF SPECIFIED MULCH.
J. DO NOT WRAP TREES.
K. DO NOT OVER PRUNE.
L. BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT AFTER FERTILIZING THE GROUND FIRST. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. THE JOINTS BETWEEN BLOCKS SHOULD BE FILLED WITH TOPSOIL AND THEN WATERED THOROUGHLY.

3.4 STEEL EDGING

- A. STEEL EDGING SHALL BE INSTALLED AND ALIGNED AS INDICATED ON PLANS. OWNERS REPRESENTATIVE TO APPROVE THE STAKED OR PAINTED LOCATION OF STEEL EDGE PRIOR TO INSTALLATION.
B. ALL STEEL EDGING SHALL BE FREE OF BENDS OR KINKS.
C. TOP OF EDGING SHALL BE 1/2" MAXIMUM HEIGHT ABOVE FINAL FINISHED GRADE.
D. STAKES ARE TO BE INSTALLED ON THE PLANTING BED SIDE OF THE EDGING, NOT THE GRASS SIDE.
E. STEEL EDGING SHALL NOT BE INSTALLED ALONG SIDEWALKS OR CURBS.
F. EDGING SHOULD BE CUT AT A 45 DEGREE ANGLE WHERE IT MEETS SIDEWALKS OR CURBS.

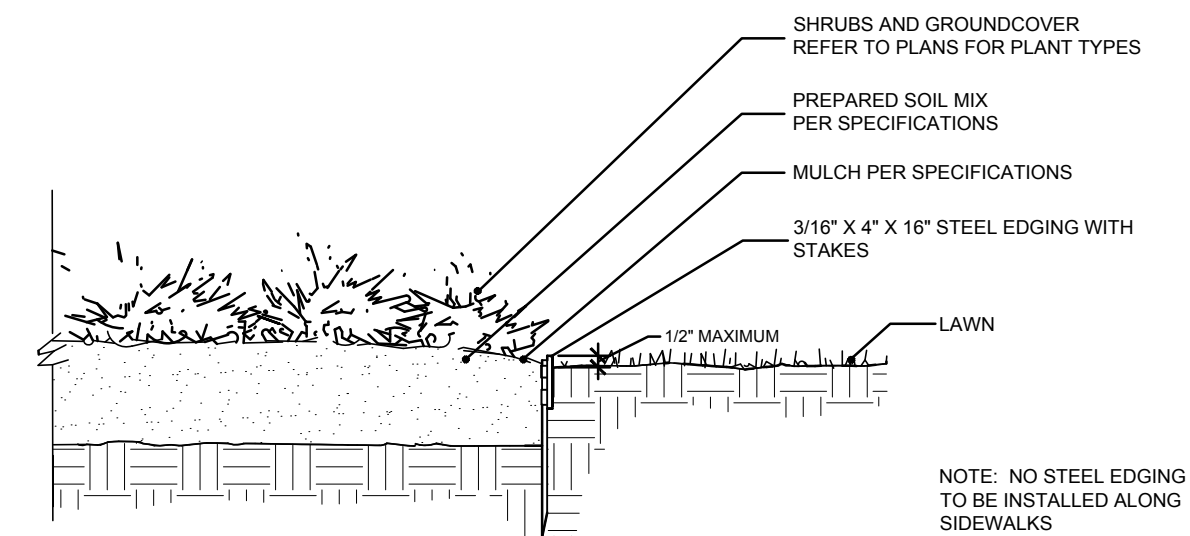
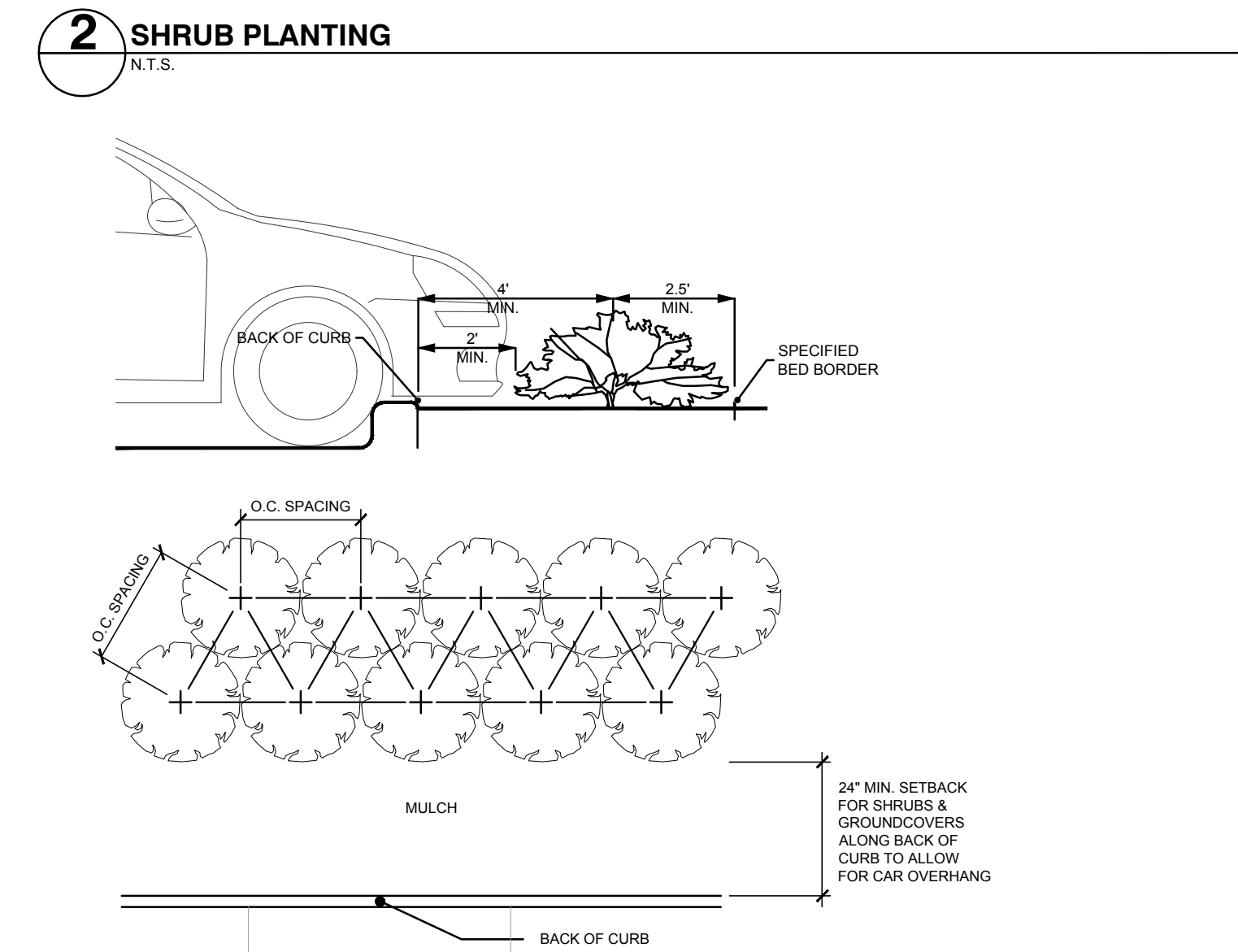
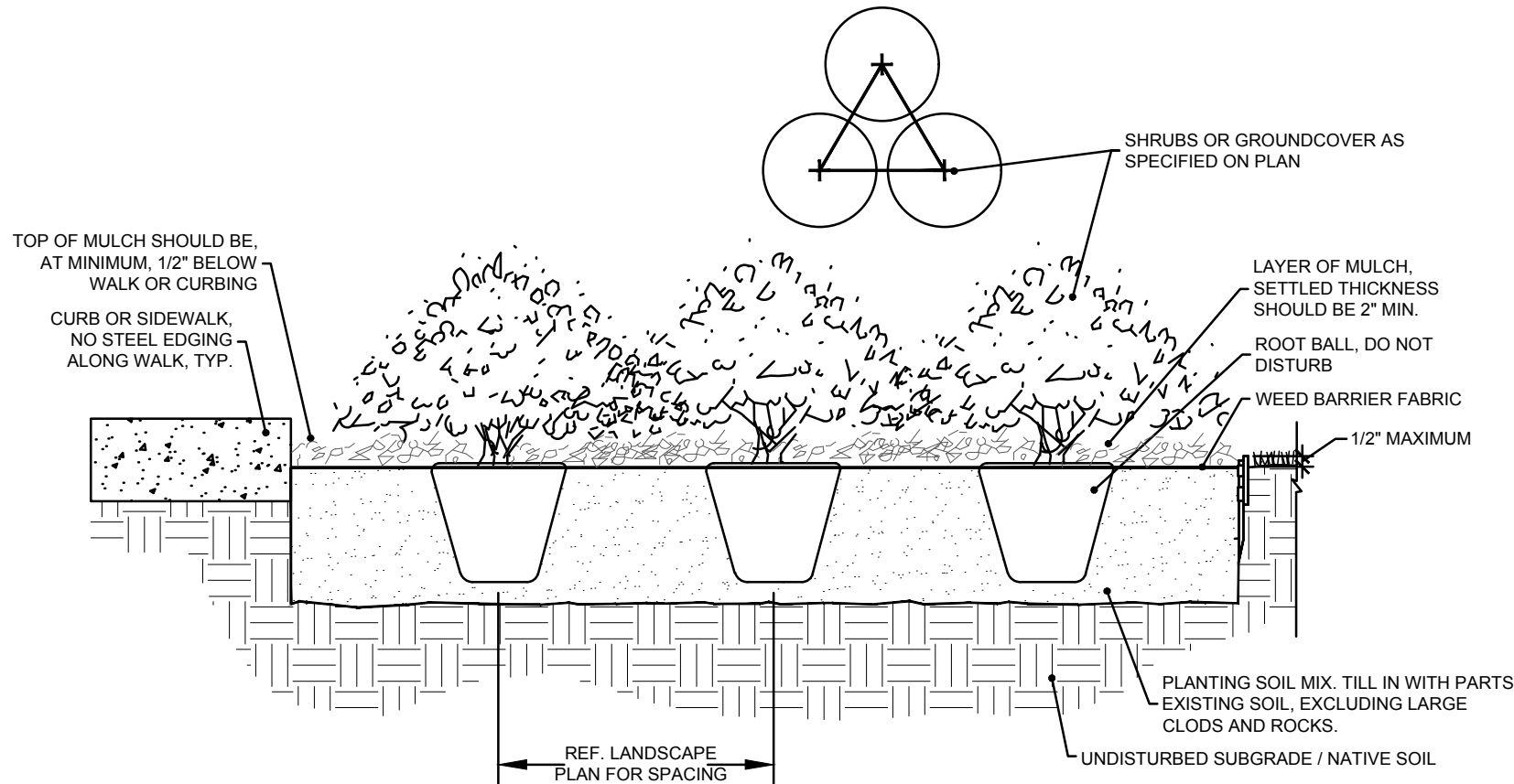
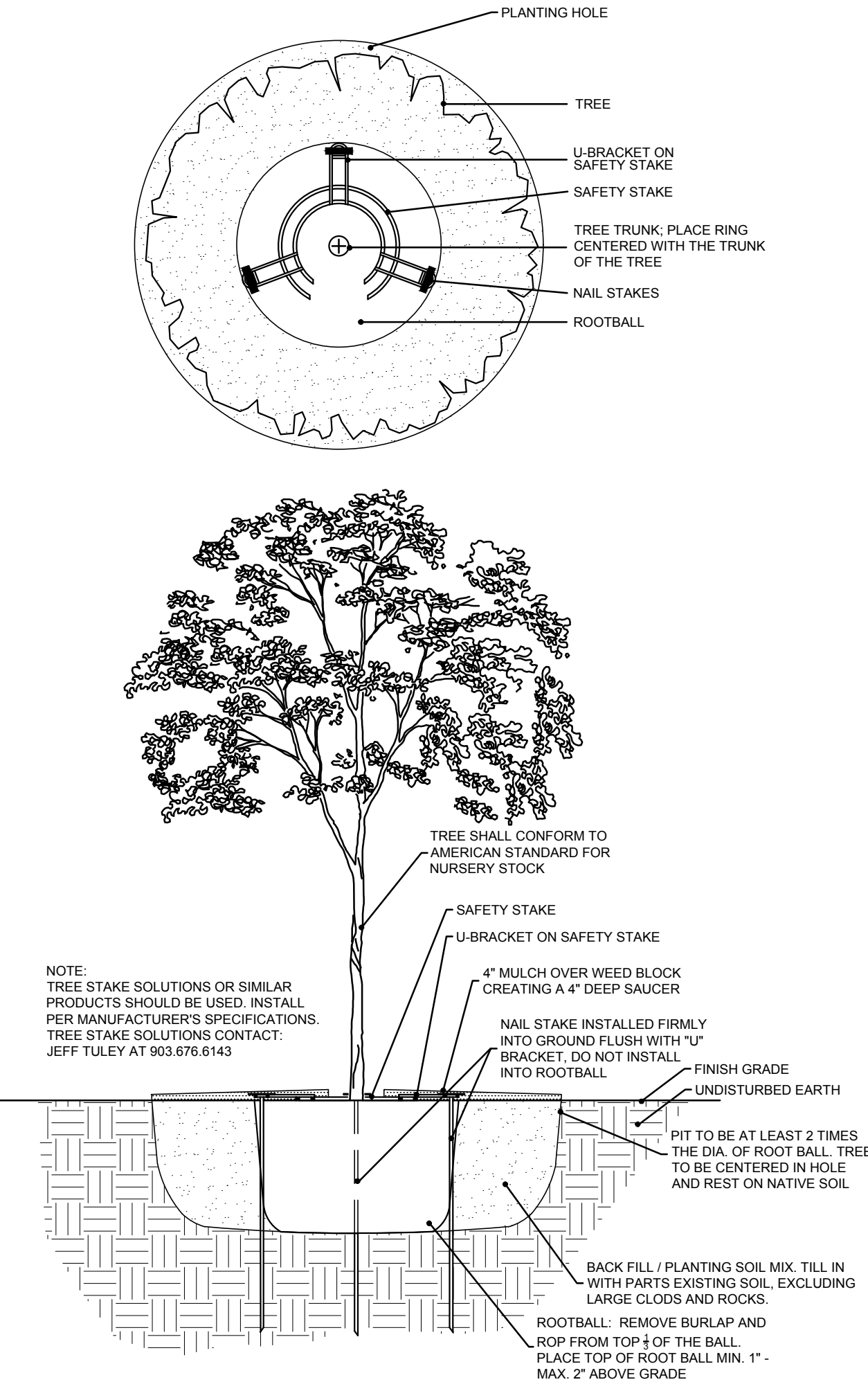
3.5 CLEANUP

- A. REMOVE CONTAINERS, TRASH, RUBBISH AND EXCESS SOILS FROM SITE AS WORK PROGRESSES.
B. REPAIR RUTS, HOLES AND SCARES IN GROUND SURFACES.
C. PREMISES SHALL BE KEPT NEAT AT ALL TIMES AND ORGANIZED.
D. ALL PAVED AREAS SHOULD BE CLEANED AT THE END OF EACH WORK DAY.

3.6 ACCEPTANCE

- A. ENSURE THAT WORK IS COMPLETE AND PLANT MATERIALS ARE IN VIGOROUS AND HEALTHY GROWING CONDITION.
B. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
C. WHENEVER THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNERS SATISFACTION WITHIN 24 HOURS.
D. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

END OF SECTION



LANDSCAPE
SPECS AND DETAILS



AWR Designs, LLC
P.O. Box 1746
Alledo, Texas 76008
awr.designs@gmail.com
c. 512.517.5589

MESO MAYA
TRACT II - PRESTON WOOD PLACE /
OAK NORTH-WEST NO. 3
5280 BELT LINE ROAD
ADDISON / DALLAS COUNTY, TEXAS 75254
PROJECT #